

Kings Ridge

Design Guidelines

— *June 2006* —
First Edition



AIKEN, SOUTH CAROLINA

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*All references to the DRC shall refer to the Design Review Committee under the Architectural Review Authority granted in the recorded Covenants and Restrictions.



Introduction

Early History of Aiken

Aiken in the Last 200 Years

There is an old legend of a Muskegean Chief of the Creek Nation whose daughter was very ill. The Chief was told in a dream to take his daughter to the land of the rising sun where she would regain her strength. He did as the dream instructed and brought her to a forest of pines with a river of sand (thought to exist in what is today Hitchcock Woods). Here he and his tribe built a village while the climate restored his daughter's health, forecasting what would later be highly regarded as an area rich with natural healing powers.



Another village in the area was that of Coftachiqui, located where Silver Bluff hugs the Savannah River. Vasquez d' Allyan and Hernando De Soto both led expeditions to the village lured by stories of bountiful gold, silver and pearls. Both parties were met with disappointment, as eventually was the village, ultimately being driven out of South Carolina by the Shawnees.

As more and more settlers moved inland following the Revolutionary War, accessible and efficient inland trade routes were needed. Savannah was beginning to threaten Charleston's dominance as a port city for trade to the north.



To put Charleston back on the top, a group of businessmen led by William Aiken and Alexander Black devised the idea of a Charleston-Hamburg railroad line, thus reclaiming Charleston's trade routes to the north.

Originally the railroad was to pass 13 miles south of present day Aiken to utilize more level terrain. However, a young Boston engineer named Alfred Andrew Dexter met and fell in love with Sara Williams. Sara's father, Captain W.W. Williams, ran a large cotton plantation and needed better access to market. Williams, realizing Dexter's fondness for his daughter, encouraged him to reroute the railroad by his property saying, "No railroad for me, young man, no girl for you."



During the building of the line the railroad maintained a construction camp. Dexter used this location to layout the proposed city of Aiken in 1834. Aiken was laid out as it exists today, with wide streets and parkways in a checkerboard pattern. Aiken's charter was granted by South

Carolina legislature on December 19, 1835 thus giving birth to the city of Aiken, named after William Aiken, Sr., President of the South Carolina Canal and Railroad Company.

The city quickly experienced economic growth but would soon get caught up in the Civil War. During Reconstruction, the South Carolina General Assembly created Aiken County with Aiken as the county seat. Its new position influenced growth as well as the nature of business conducted in the city.

Just before the Civil War, Aiken's healing powers were rediscovered. Its allure to visitors was due in part to its accessibility by railroad, its relatively high elevation (500') and its mild climate and low humidity. The city's beauty and natural environment enticed people from coastal plantations to escape the summer heat and balmy swamp lands. Yet others traveled from the north to escape harsh winters. Recognized as a health resort, many came in hopes of recuperating the ill.

Celestine Eustis of New Orleans brought her frail niece, Louise, to Aiken on numerous accounts in hopes that she might benefit from the environment. These repeated visits eventually led to the first permanent residence of the "Winter Colony." As Aiken progressed, more visitors came to winter and eventually established residence in the community. The health resort ideal soon transformed itself into a sportsman's paradise.



Louise and her husband, Thomas Hitchcock brought their families together to create multiple sports activities which have now become synonymous with Aiken. Their contacts and widespread influence attracted a select group of sports enthusiasts for each winter season. The horses took very well to the mild winter climate and trainers began to congregate in Aiken to train their steeds for races in the spring.

The Hitchcocks lured many New York friends and socialites to the Winter Colony where they built glorious homes and established equestrian estates. During the 1930s the horse became an industry that greatly impacted Aiken's economy, providing employment and a market for goods and services. Although the Winter Colony began as a part of the health resort era, the horse and culture soon became the most significant factor in growth and the continuation of the Colony and of Aiken.

Once known as the "Sports Center of the South," it is now a city blooming with spacious parks, abundant with distinguishing architecture, and alive with the harmonious blend of old and new. The city is a fusion of young and mature, promising the stability and vitality of Aiken, making other communities of its size envious.

Regional Influences

Only a little more than 160 miles from both Atlanta and Savannah, Georgia and Charleston, South Carolina, Aiken is poised in a region with deep history and classic southern charm. Columbia and Augusta are also two influential cities in the immediate region.



Regional Map

Atlanta, Savannah, and Charleston are all international centers for art and culture with their lively festivals, museums and attractions, and extraordinary public gardens.

Absorbing the culture and lifestyle of surrounding historical cities of influence and making them her own, Aiken has evolved into a unique blend of southern hospitality, American ingenuity, and family values. Aiken is a small town with true southern charm, but is big enough to provide everything you need.



Aiken, SC



Savannah Square



Georgia Aquarium in Atlanta



Spoleto Festival in Charleston

The Land At Kings Ridge

Homeowners and guests are welcomed into Kings Ridge by a handsome brick entrance wall and electronic gate prominently displaying Kings Ridge community icon. Leading you towards the entry gate are historic timbers set within brick columns that protect an untouched wetland system. Once through the gate, one is directed by an impressive line of black four rail fence, indicative of equestrian culture.

A balanced mix of pasture and preserved pine, oak, gum, and maple trees as well as four newly constructed lakes that terrace down the length of the community provide recreational opportunities as well as diverse habitats for various plant and animal life.

Other amenities include a fenced and lighted riding arena, and community pavilion for neighborhood and family gatherings. Both elements in the designated equestrian area are linked to several miles of riding trails within Kings Ridge as well as a greenway at the northern boundary of the community.

The land at Kings Ridge is approximately 350 acres and boasts open site lines, gently rolling topography and provides long and short range views of the surroundings. The community consists of approximately 62 home sites that range between 5 and 7 acres only minutes from downtown Aiken.

Introduction



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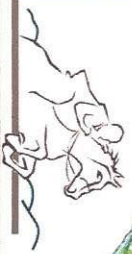


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Introduction

Master Plan



Purpose and Use of Guidelines

The Kings Ridge Design Guidelines have been written to assist homeowners in the creation of the development of their new property. These guidelines are subject to change based on DRC authority as needed to enhance or preserve the overall appearance and character of the project.

It is the ultimate goal of the Guidelines to assist homeowners in the development and preparation of their individual tracts, to provide the design principles for locating and designing their home and any auxiliary structures that are part of the "compound," and to suggest appropriate design solutions without hindering individual style and creativity.

Architectural Patterns

Architectural Detail Guidelines

STYLE:

Derived from Classic Southern Colonial and Georgian architecture, the architectural style at Kings Ridge strives to attain a casual elegance and sophistication whose design is consistent with a handsome equestrian community. However, Kings Ridge is not as concerned with just one particular style, but rather whether or not the design of the house is appropriate to the region. Structures within Kings Ridge should not look alike, but should exhibit commonalities within the general style as exhibited within the Guidelines.

One must understand that although homes should be diverse in design elements, they must have underlying similarities in order to maintain a consistent community identity. The size, shape, degree of formality, materials, and colors of structures should all relate harmoniously to each other and the community as a whole.

A complementary visual relationship between all structures within the compound should be established as well. Commonalities could include building scale, well articulated roof lines and dormers, generous overhangs, fully function porches and covered entryways, colors and finishes, windows and doors.

SCALE/PROPORTION:

As with most of the timeless and historical homes in and around Aiken, scale and proportion within the design of a Kings Ridge home is essential. The relationship of the facade elements, doors, windows, columns, porches, roofs, etc. should all be in balance with one another to create a pleasing design.

The main house should be the most prominent structure in scale on site while auxiliary structures such as garages, guest houses, and stables are of a smaller scale while remaining proportional to the compound as a whole. An appropriate distance shall be established between each structure on site to further enhance the scale of the buildings as well as the scale of the individual property.

Bulk and mass should be reduced by off-setting walls, roofs, porches, chimneys, etc. and by stepping the structure into existing grade.

MATERIALS AND COLORS:

Historically, one, or at most two, building materials were used to construct and adorn the main home. Brick, stone, and wood were the primary materials used and homes at Kings Ridge should continue this trend, blending harmoniously with the natural surroundings while staying true to historical cues and old time simplicity.

Aluminum siding, vinyl siding, and cedar shakes are not allowed as facade treatments. Stucco on the body of the house is discouraged and should be limited to the foundation with the approval of the DRC.

Metal standing seam roofs and architectural shingles are the preferred roofing material. Other natural material options such as slate or shake shingles are acceptable under the approval of the DRC.

Colors should be of natural tones and blend harmoniously with the surrounding environment. Vibrant, primary colors are not acceptable as the main color or predominant accent colors.

The following images are not meant to be all inclusive but rather to set examples of ideal architectural styles. They should be used as reference for design by the homeowner and DRC members, with the intent to incorporate one's individuality.

facade exterior do
only - no
house



Architectural Patterns

Types and Styles: Main Houses

Southern Inspired Colonial One-and-One-Half Story:

This type of home is a perfect example of the understated elegance of Kings Ridge. The predominant use of natural materials such as wood, stone, and brick for the facade of structures.

Historically, the colonial home would site high over basements or on pilings so that summer breezes could cool the air. The deep porch, or gallery, is inviting and casual while the simplicity of the unbroken roof line pierced with dormers is sophisticated.

Deep side gabled roofs allow for more livable space than a typical one-and-one-half story home.

Often the main massing of the house is complemented by side porches, stepped down side rooms, and side entry garages.



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Architectural Patterns

Types and Styles: Main Houses

Georgian Plantation Inspired Two and Two-and-One-Half Story:

Typically found on plantations in the southeast, this type consists of a main house block with "hyphens," or low connecting wings on either side of the main block.

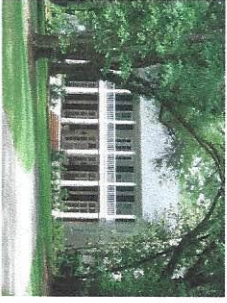
The Georgian style is noted for its full width porch and stately columns, sited deep on large lots framed by live oaks and outbuildings.



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Architectural Patterns

Types and Styles: Guest Houses

Guest houses have a special character all their own. They are not merely miniature models of the main house, but rather a unique example that is reminiscent of the main house style. At Kings Ridge, the Guest House is limited to a maximum of 1200 square feet.

The guest house's color scheme and material selection should coordinate with the main house, providing a congruent piece of the compound that fits into the site's complex fabric.



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Architectural Patterns

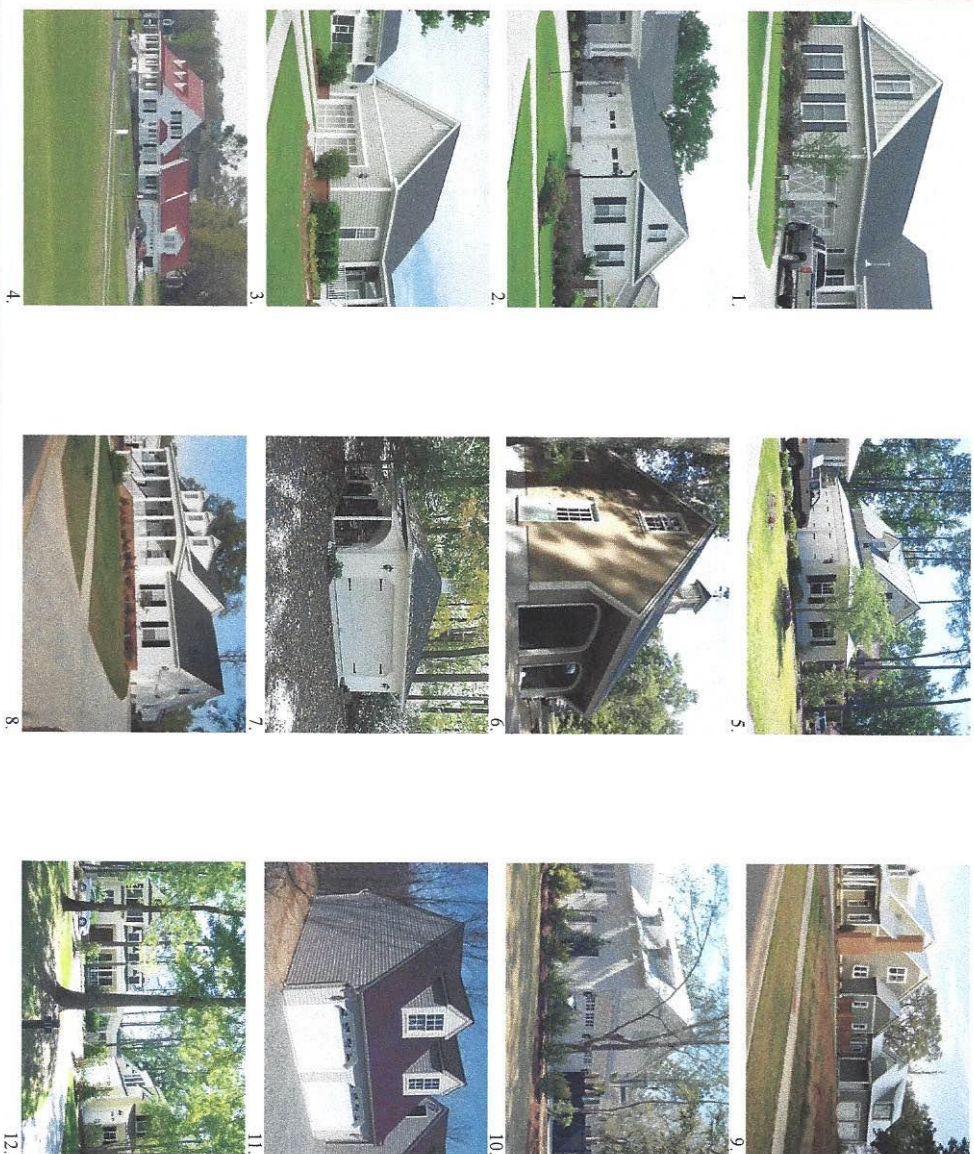
Types and Styles: Garages

The garage structure can be approached countless number of ways. Detached garages are strongly encouraged while attached garages may be incorporated into the main house if the entrance is situated either facing the interior court or as a side entry. No front entry garages shall be permitted within the community.

They should be functional while remaining creatively designed in both the massing and the exterior facade. They could be simple open pole-barn style, enclosed with loft space, or even designed with a grander scale reminiscent of old carriage houses.

Garage structures provide the opportunity to include loft/storage/office space above as well as workshops at the ground level.

Again, the style, color, and material should complement the main house as well as adding character to the compound. The size and scale of the garage needs to be in balance and proportion to the main house.



Architectural Patterns

Types and Styles: Barns/Stables

A functional and aesthetic cornerstone of the compound is the barn and stables. The barn/stables should be situated properly with the house and should be located in response to effective and efficient care of horses and the grounds. The barn/stables should be kept no closer to buildings on adjacent tracts than they are to buildings on site.

The style should effectively correspond to the colors and materials of the other structures of the compound. They can be reminiscent of an old pole barn with overhangs flanking both sides, a more traditional style with exterior stable access on one side and a central corridor, or even a bit more elaborate with dormers that allow for more usable space above. The size and scale of the barn/stable needs to be in balance and proportion to the main house.



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Architectural Patterns

Types and Styles: Out-Buildings

Two of the most pronounced outbuildings are the motor home and large equipment sheds and also the well house.

Motor home and large equipment sheds are difficult to keep in proportion to the main house and therefore need careful site consideration. They should be located and screened to maintain undisturbed site lines and view sheds. Motor home and large equipment sheds must be included in the overall site plan and are subject to approval by the DRC.

Siting and construction of the well house must ensure that it maintains secondary status to primary structures on site. No plastic or artificial coverings shall be accepted.

The design possibilities and uses for outbuildings are only limited by the imagination. Careful attention, however, should be given to the design in order to complement the other structures, to connect to compound massing, and to maintain its status as a secondary structure.

Outbuildings are the whimsical creativity that distinguishes each compound's style and unique personality. They are used to help balance the site and create a sense of history for the compound.

The outbuilding once provided many things to families - the old kitchen, on-site blacksmith workshop, wellhead, and smokehouse - but the uses have been modified over time.

Now used as potting sheds, golf cart or ATV storage units, greenhouses, pool cabanas, offices, and even dog kennels, the outbuildings reflect a certain sense of nostalgia, providing interest and destination points within the compound.



Tract Development Patterns

Compound Settlement Patterns: Compound Overview

HISTORY OF THE COMPOUND

The compound began as a simple, single structure that met a family's minimal needs. Ancillary structures within the historical compound were typically a shed or barn near the house and smokehouse or dairy building. A separate, detached kitchen was also included in the rear of the house to keep out the heat of open flame cooking.

As the family unit grew, dormers converted the attic space into a usable bedroom. As more space was needed, side wings were added for additional bedrooms and living area. As electricity became more readily available, the kitchen moved into the main house, converting the old structure into guest quarters.

Through the generations, the compound has evolved, growing from a small central mass into a large attractive home with the addition of the garage and other ancillary outbuildings.

Because of its growth and evolution, the compound maintains a unique history and character, an inviting, intimate scale, and a far more interesting and creative unit than if all functions were contained in a single rectangular mass.

MAIN HOUSE

The main house is the core of the compound and should have a minimum of 2,700 square feet of living space. The main house is dominant over all additions and outbuildings and should be the central axis of the site providing that no significant trees or other natural features are sacrificed. It is the predominant view element as well as the preferred focus of the arrival sequence. Residents and visitors are encouraged to arrive at the main house versus the garage. The main house may be one-and-one-half or two stories, with any attached wings subordinate in size and scale.

PORCHES

Porches are one of the most important features to the main house. They may be one or two stories high and are encouraged to span the full width of the main house. The front porch should be centered on the front facade, although asymmetry may be approved under certain circumstances. Rear and side porches hold the same design criteria but are not required unless that facade is in public view. The rear/side porches may be screened or enclosed by glass for additional living space. It is recommended that porch depth be a minimum of 10 feet deep.

ATTACHED ADDITIONS

Attached wings can be used (and are encouraged) as a way of breaking up the overall building mass and providing varying elevation changes. Additions should be offset +/- two feet from the front facade and subordinate to the main house in both width and height.

Auxiliary structures may be sited in front of the main house but should be placed at least 4 feet off to the side of the edge of the front porch. The main house shall remain the focal point of the compound and all auxiliary structures located in front of the house must be pushed off to the side to maintain the main house's prominence.

GARAGES

Garages may be one story or one-and-one-half story with living area above. It is important that the garage not obstruct the view of the main house and that the doors face the interior court of the compound. Garages may be part of the main house or as a separate outbuilding. If the garage is designed as a separate structure, it is encouraged to construct a second and opposite building in order to maintain balance on site.

GUEST HOUSE

If a detached garage is part of the compound, ideally the guest house would be sited opposite to achieve site balance. Square footage of the guest house should be limited to 1,200 square feet of living space and should complement the style of the main house.

BREEZEWAYS

One story breezeways may be used to connect the main house to adjacent outbuildings such as the garage or guest quarters. They may range from 6 feet width to 10 feet and can be open, screened, or enclosed in glass.



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Tract Development Patterns

Compound Development Plan

FENCING

Four rail black fence consistent with the existing community fencing is to be used along property lines adjacent to the road as well as along all property lines and interior fences. Homeowners do have the option not to fence their property.

All rails should be attached to the inside of posts for the horse's safety and to prolong the life of the fence. However, all fences adjacent to roads shall be constructed with the rails on the outside. It is then recommended to provide rails on the

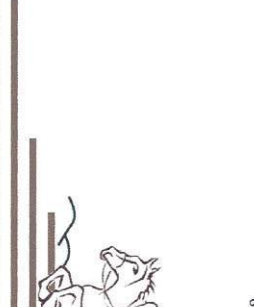
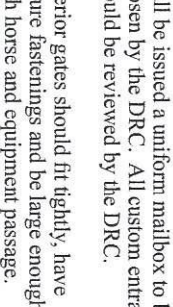
inside as well to maintain the safety of the horses and the stability of the fence. A top rail is acceptable and must be approved by the DRC. Wire fence is not permitted except in small interior fenced areas where smaller domestic animals are kept. Wire must be used in conjunction with the 4 rail fence and placed between rail and post.

Fencing is to be located 5 feet (min.) off each property line, allowing for a 10' trail between each individual tract. This also creates a double fence line, further strengthening the fence's ability to prevent escape while also honoring historical equestrian estate planning.

Where the double fence exists, it is expected that the 10' trail between individual tracts be well maintained in the same manner as the rest of the tract and shall not be overlooked. Single fence between homesites is allowed where both adjacent homeowners agree to do so. Single fencing must be approved by the DRC and signed by both landowners. If fence is shared, a headboard must be included on both sides of the shared fence for the safety of the horse and the structural longevity of the fence.

ENTRANCE AND GATES
Entrances can be personalized but must be compatible to the home's architectural style. Entrances and gates should blend into the landscape and not block views through the site. Entry gates may be more ornate than those at interior field fences. Any columns or walls that accompany the entrance gate must follow the colors and materials used for structures within the compound. Entrances may be tied into the fence at the 5' fence setback or further into the 100' front setback. Each homesite shall be issued a uniform mailbox to be chosen by the DRC. All custom entrances should be reviewed by the DRC.

Interior gates should fit tightly, have secure fastenings and be large enough for both horse and equipment passage.



Tract Development Patterns

Compound Development Plan

GARDEN STRUCTURES

Garden structures such as benches, trellis swings, gazebos, and arbors may be selectively placed to add character to any surrounding gardens associated with the main house. These structures must be of a complementary style to the architecture of the main house and ancillary buildings. Recommended materials include masonry, wrought iron, and wood.

GARDEN ORNAMENTATION

Items such as sculptures, fountains, statues, or any other ornamentation visible from the road or other tracts must be reviewed and approved by the DRC. Their location is limited to grounds immediately adjacent to primary structures of the compound. Pictures of the proposed ornamentation should be submitted with the landscape plan to the DRC for final approval.

PERIMETER LANDSCAPING

If a property owner wishes to plant roadside plants/street trees along roadside property line(s), those plantings should be limited to any approved canopy tree or understory species from the suggested plant list. Although not required, planting Live Oaks spaced 80' on center is the most desirable. Perimeter property line screening is discouraged in order to preserve long views across the community.



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Fences along property lines may be visually broken with landscaping.

However, a single row of plants or hedge along the property line is subject to review by the DRC. A diversity of native plants is encouraged, particularly at the lake's edge and entrance. Planting aquatic species at the lake is allowed and encouraged to maintain a natural edge. No large plants shall be installed at the lake edge in order to preserve the views across the lake and also not to impair the 15' lake access easement.

HOMESITE LANDSCAPING

A level of consistency should be used throughout Kings Ridge in regards to the level of landscaping incorporated into the compound. Appropriate plants shall be used at the main entrance and along the driveway to designate its significance and to frame views into the compound. If planting is used as a screening/privacy device, they should be placed closer to structures they intend to screen to preserve views from and across the property.

Whether it be formal or organic, the planting design shall complement the architectural style of the main house as well as all supporting structures.

Unique planting such as vegetable or flower gardens should be limited to the rear or side of the main house and incorporated

Compound Development Plan

into the compound as a whole. Unique trees and shrubs that reflect the Aiken character may be used in these locations and adjacent to structures to add emphasis (see recommended plant list). All landscaping is subject to DRC approval.

GROUND MAINTENANCE

All landscaping shall be highly maintained, especially at compound entrances and pond edges. If irrigation is to be installed, multiple wells shall be installed to provide proper irrigation requirements. Trash receptacles must be kept out of site.

LIGHTING

Excessive landscape lighting and general area illumination is discouraged. A minimal amount of lighting shall be used to retain Kings Ridge rural character. Those areas that may require lighting (entrances, drives, and pedestrian areas) should be at low illumination levels.



Architectural Patterns Compound Settlement Patterns: Tract Types

INTERIOR RECTANGULAR TRACT WITH ROAD ACCESS:

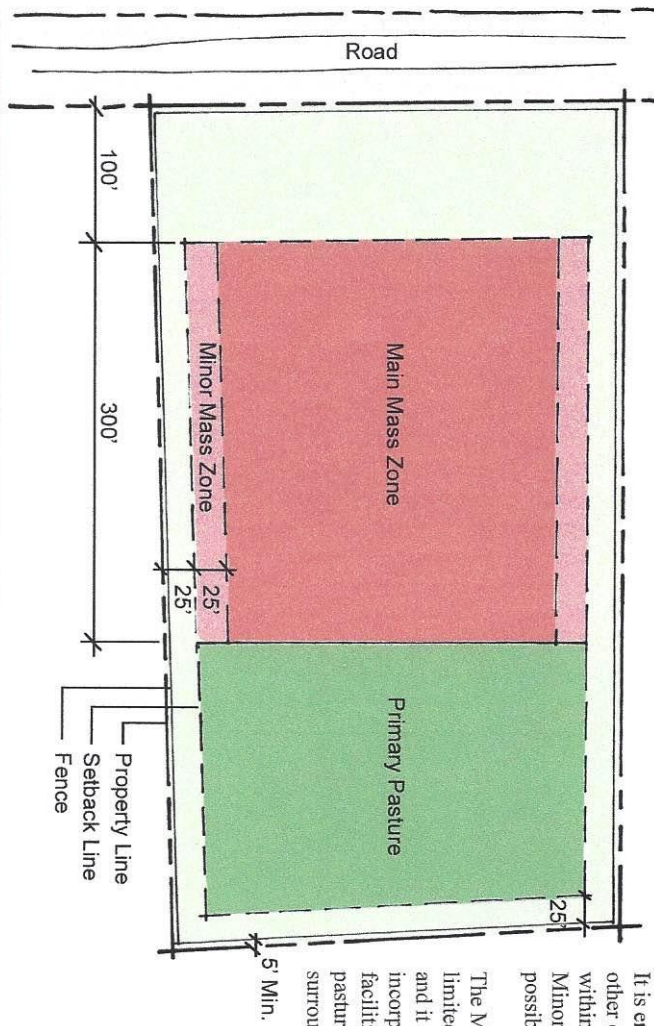
Setbacks: A 100' front setback shall be enforced. Only the fence, entrance feature, entry drive and associated landscape may be located within this setback. A 25' side and rear setback shall surround the property.

Fencing, if desired, shall be installed around the entire property at a 5' min. offset of the property line. This creates a double fence line between all tracts and provides delineated trails between properties. If agreed upon, adjacent homeowners may construct a single fence between homesites along the property line.

300' Deep Main Mass Zone: This zone acts as a flex zone, allowing the placement and arrangement of the compound elements within the dimensioned parameters. The main house must be located within the Main Mass Zone, no closer than 100' from the front property line and 50' from the side property lines.

25' Minor Mass Zone: Flanking the Main Mass Zone is a Minor Mass Zone. Ancillary structures such as stables, guest houses, and garages may be located within this zone. The Minor Mass Zone shall be used only in tracts where conflicts arise within the Main Mass Zone due to vegetation, topography, or other natural features.

Primary Pasture: Any equestrian or other approved structures may be located within the primary pasture or setback limits or as approved by the DRC.



The Main Mass Zone is not limited to built structures and it is encouraged to incorporate equestrian facilities and secondary pastures in front of or surrounding the main house.

It is encouraged to locate other compound structures within this zone versus the Minor Mass Zone where possible.



Tract Development Patterns

Compound Settlement Patterns: Tract Types

LONG TRACT WITH ROAD, TRAIL, AND POND ACCESS:

Setbacks: A 100' front setback shall be enforced. Only the fence, entrance feature, entry drive and associated landscape may be located within this setback. A 25' side and rear setback shall surround the property.

Fencing, if desired, shall be installed around the entire property at a 5' min. offset of the property line. This creates a double fence line between all tracts and provides delineated trails between properties. If agreed upon, adjacent homeowners may construct a single fence between homesites along the property line. If a trail easement is adjacent to the property, the fence shall then be installed at the edge of the trail easement.

400' Deep Main Mass Zone: If a tract's frontage measures less than 200 feet, a 400' Building zone will apply. Again, this zone acts as a flex zone and it is encouraged to locate other compound structures within this zone versus the Minor Mass Zone where possible.

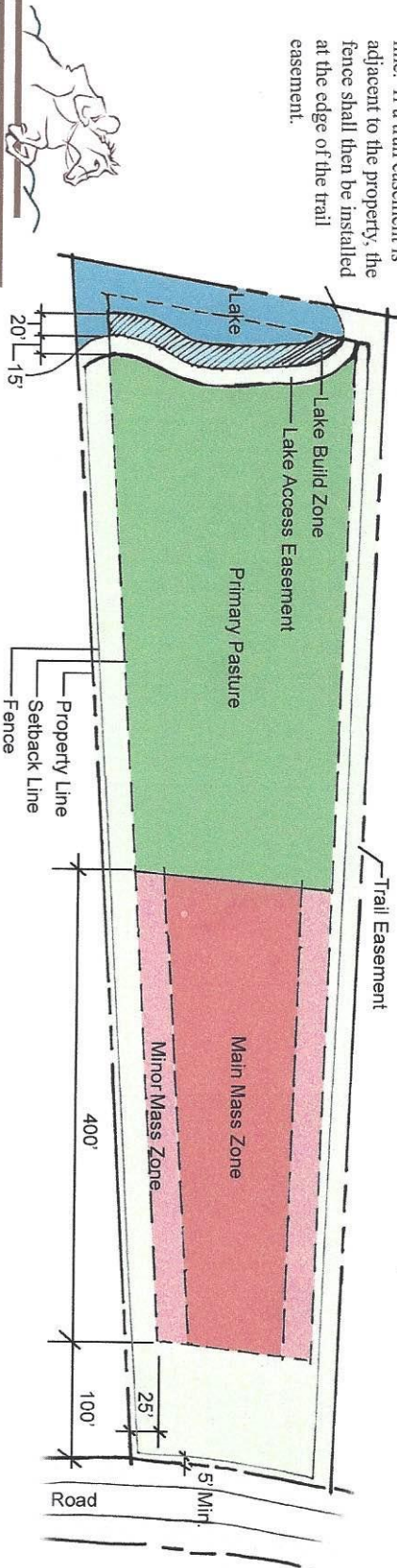
The Main Mass Zone is not limited to built structures and it is encouraged to incorporate equestrian facilities and secondary pastures in front of or surrounding the main house.

25' Minor Mass Zone: Flanking the Main Mass Zone is a Minor Mass Zone. Ancillary structures such as stables, guest houses, and garages may be located within this zone. The Minor Mass Zone shall be used only in tracts where conflicts arise within the Main Mass Zone due to vegetation, topography, or other natural features.

Primary Pasture: Any equestrian or other approved structures may be located within the primary pasture or setback limits or as approved by the DRC.

Lake Build Zone: There shall be a 20' zone into the lake which fixed docks, boardwalks, etc. may be installed. Lake features shall be approved on a case by case basis by the DRC.

A 15' (from top of bank) Lake Access Easement shall be kept clear for maintenance and trail accessibility. A covered canopy structure not exceeding 100 sf may be erected within the easement as well as a dock extension so as the total length of the dock does not exceed 30'. The back fence shall be installed at the edge of the 15' Lake Access Easement.



Tract Development Patterns Compound Settlement Patterns: Tract Types

LONG TRACT WITH ROAD, TRAIL, AND POND ACCESS-WATERFRONT OPTION:

Setbacks: A 100' setback shall be enforced between the Lake Easement and the Main Mass Zone. Only the fencing and associated landscape may be located within this setback. A 25' side setback shall surround the property as well as in front on homesteads where the primary pasture is located adjacent to the road.

Fencing, if desired, shall be installed around the entire property at a 5' min. offset of the property line. This creates a double fence line between all tracts

and provides delineated trails between properties. If agreed upon, adjacent homeowners may construct a single fence between homesteads along the property line. If a trail easement is adjacent to the property, the fence shall then be installed at the edge of the trail easement.

400' Deep Main Mass Zone: Homesteads with direct access to the lake may opt to build closer to the lake edge versus adjacent to the road. This zone acts as a flex zone and it is encouraged to locate

other compound structures within this zone versus the Minor Mass Zone where possible.

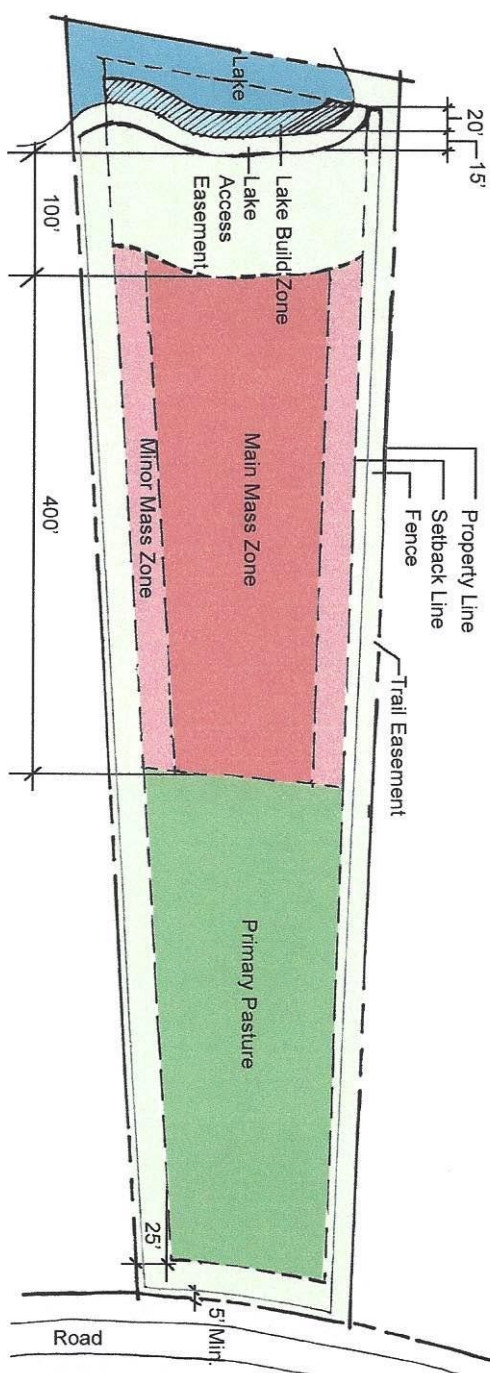
25' Minor Mass Zone: Flanking the Main Mass Zone is a Minor Mass Zone. Ancillary structures such as stables, guest houses, and garages may be located within this zone. The Minor Mass Zone shall be used only in tracts where conflicts arise within the Main Mass Zone due to vegetation, topography, or other natural features.

Primary Pasture: Any equestrian or other approved structures may be located within the primary pasture or setback limits or as approved by the DRC.

Lake Build Zone: There shall be a 20' zone into the lake which fixed docks, boardwalks, etc. may be installed. Lake features shall be approved on a case by case basis by the DRC.

A 15' (from top of bank) Lake Access Easement shall be kept clear for

maintenance and trail accessibility. A covered canopy structure not exceeding 100 sf may be erected within the easement as well as a dock extension so as the total length of the dock does not exceed 30'. The back fence shall be installed at the edge of the 15' Lake Access Easement.



Tract Development Patterns

Compound Settlement Patterns: Tract Types

SQUARE TRACT WITH ROAD AND TRAIL ACCESS:

Setbacks: A 100' front setback shall be enforced. Only the fence, entrance feature, entry drive and associated landscape may be located within this setback. A 25' side and rear setback shall surround the property.

Fencing, if desired, shall be installed around the entire property at a 5' min. offset of the property line. This creates a double fence line between all tracts and provides delineated trails between properties. If agreed upon, adjacent homeowners may construct a single fence between homesites along the property line. If a trail easement is adjacent to the property, the fence shall then be installed at the edge of the trail easement.

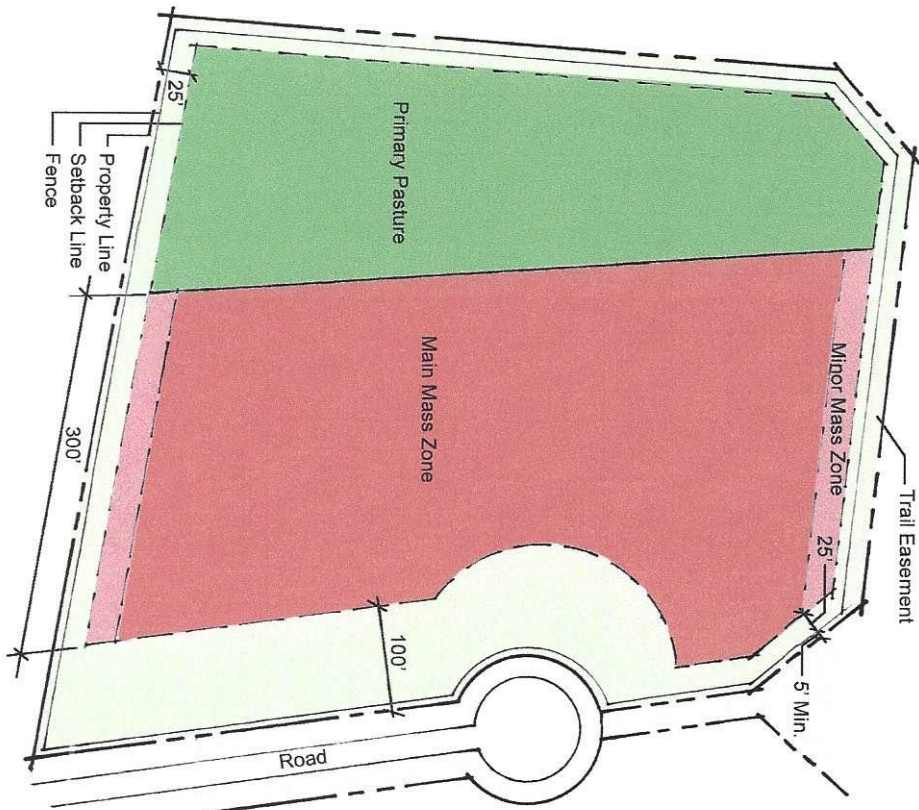
300' Deep Main Mass Zone: This zone acts as a flex zone, allowing the placement and arrangement of the compound elements within the dimensioned parameters.

The main house must be located within the Main Mass Zone, no closer than 100' from the front property line and 50' from the side property lines. It is encouraged to locate other compound structures within this zone versus the Minor Mass Zone where possible.

The Main Mass Zone is not limited to built structures and it is encouraged to incorporate equestrian facilities and secondary pastures in front of or surrounding the main house.

25' Minor Mass Zone: Flanking the Main Mass Zone is a Minor Mass Zone. Ancillary structures such as stables, guest houses, and garages may be located within this zone. The Minor Mass Zone shall be used only in tracts where conflicts arise within the Main Mass Zone due to vegetation, topography, or other natural features.

Primary Pasture: Any equestrian or other approved structures may be located within the primary pasture or setback limits or as approved by the DRC.



Tract Development Patterns Compound Settlement Patterns: Tract Types

PIE TRACT WITH ROAD AND TRAIL ACCESS:

Setbacks: A 100' front setback shall be enforced. Only the fence, entrance feature, entry drive and associated landscape may be located within this setback. A 25' side and rear setback shall surround the property.

Fencing: if desired, shall be installed around the entire property at a 5' min. offset of the property line. This creates a double fence line between all tracts and provides delineated trails between properties. If agreed upon, adjacent homeowners may construct a single fence between homesites along the property line.

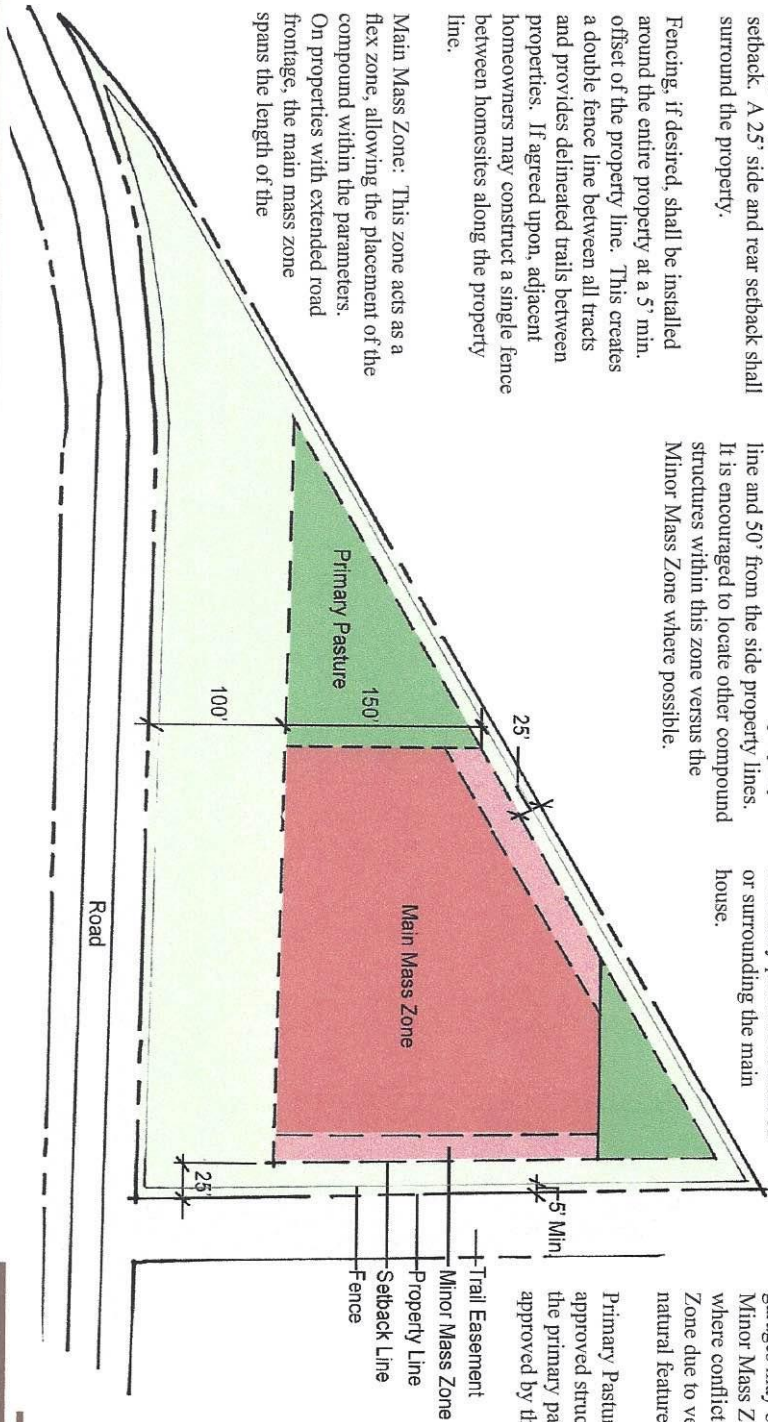
Main Mass Zone: This zone acts as a flex zone, allowing the placement of the compound within the parameters. On properties with extended road frontage, the main mass zone spans the length of the

road until a 150' depth between property lines is reached. The main house must be located within the Main Mass Zone, no closer than 100' from the front property line and 50' from the side property lines. It is encouraged to locate other compound structures within this zone versus the Minor Mass Zone where possible.

The Main Mass Zone is not limited to built structures and it is encouraged to incorporate equestrian facilities and secondary pastures in front of or surrounding the main house.

25' Minor Mass Zone: Flanking the Main Mass Zone is a Minor Mass Zone. Ancillary structures such as stables, guest houses, and garages may be located within this zone. The Minor Mass Zone shall be used only in tracts where conflicts arise within the Main Mass Zone due to vegetation, topography, or other natural features.

Primary Pasture: Any equestrian or other approved structures may be located within the primary pasture or setback limits or as approved by the DRC.



Tract Development Patterns

Compound Settlement Patterns: Tract Types

FLAG TRACT WITH ROAD AND POND ACCESS:

Setbacks: A 100' front setback shall be enforced. Only the fence, entrance feature, entry drive and associated landscape may be located within this setback. A 25' side and rear setback shall surround the property.

Fencing: if desired, shall be installed around the entire property at a 5' min. offset of the property line. This creates a double fence line between all tracts and provides delineated trails between properties. If agreed upon, adjacent homeowners may construct a single fence between homesites along the property line. If a trail easement is adjacent to the property, the fence shall then be installed at the edge of the trail easement.

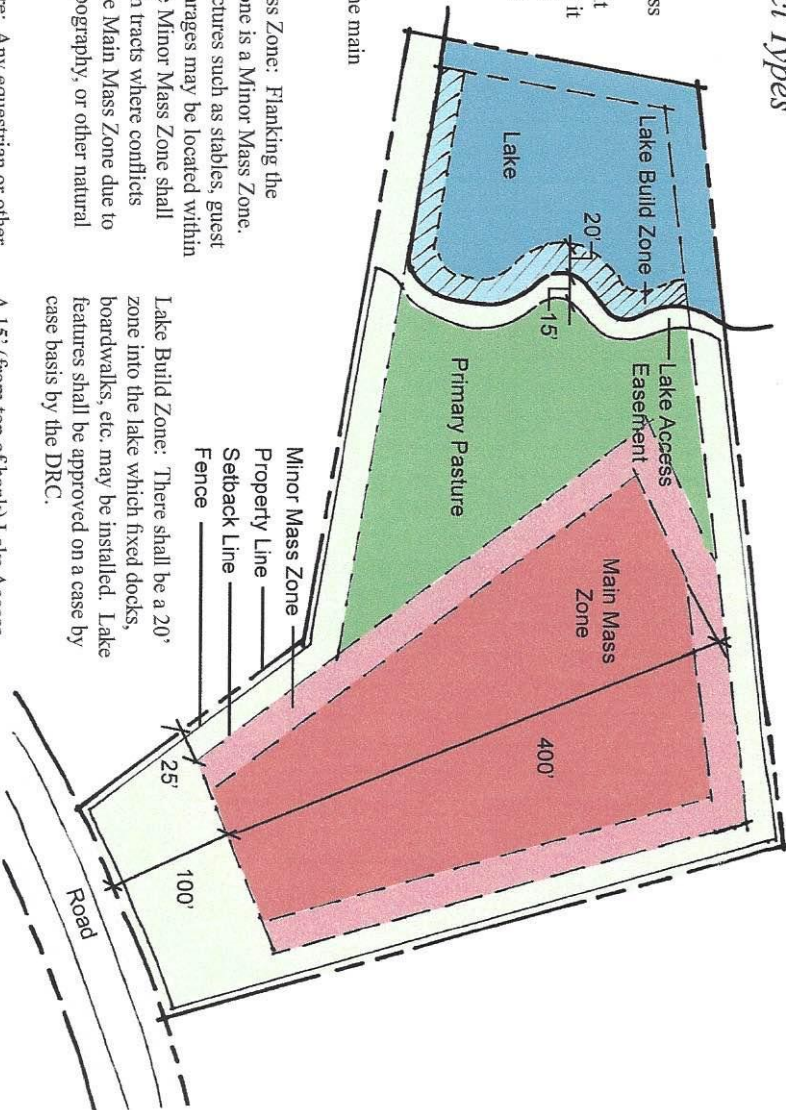
400' Deep Main Mass Zone: If a tract's frontage measures less than 200 feet, a 400' Building zone will apply. Again, this zone acts as a flex zone and it is encouraged to locate other compound structures within this zone versus the Minor Mass Zone where possible.



The Main Mass Zone is not limited to built structures and it is encouraged to incorporate equestrian facilities and secondary pastures in front of or surrounding the main house.

25' Minor Mass Zone: Flanking the Main Mass Zone is a Minor Mass Zone. Ancillary structures such as stables, guest houses, and garages may be located within this zone. The Minor Mass Zone shall be used only in tracts where conflicts arise within the Main Mass Zone due to vegetation, topography, or other natural features.

Primary Pasture: Any equestrian or other approved structures may be located within the primary pasture or setback limits or as approved by the DRC.



Lake Build Zone: There shall be a 20' zone into the lake which fixed docks, boardwalks, etc. may be installed. Lake features shall be approved on a case by case basis by the DRC.

A 15' (from top of bank) Lake Access Easement shall be kept clear for maintenance and trail accessibility. A covered canopy structure not exceeding 100 sf may be erected within the easement

as well as a dock extension so as the total length of the dock does not exceed 30'. The back fence shall be installed at the edge of the 15' Lake Access Easement.

Tract Development Patterns

Site Planning, Clearing and Grading

Kings Ridge Master Plan was created to blend with the natural landscape features while preserving existing viewsheds. The natural environment was used as a guide for road and tract layout as well as supporting equestrian amenities. The development of the individual site and the creation of a new landscape shall be influenced by the natural features unique to each tract. The following tract development patterns will help the homeowner accomplish a healthy balance between the natural and the built environment.

SITE PLANNING

Each tract has special characteristics that will ultimately aid in determining how the compound and surrounding land will be developed. Careful attention and preservation of the natural landforms will help determine the best site plan arrangement. Significant vegetation, solar orientation, long and short views, and topography should be carefully examined prior to drawing up site plans. This examination process could include the acquisition of a detailed tree and topographic survey to physically locate vital existing elements.

One of the most important site planning issues to consider is views into and out of the property. Views into the front entry court and drive should be unobstructive and compatible with adjacent properties. Views both into and

out of the property will greatly influence the placement of the main house. Views to the rear and side should be harmonious with the surrounding natural landscape.

Due to these strong open sightlines across the community, the DRC reserves the right to scrutinize rear elevations of all structures.

Equestrian uses should be sited so that they are visible from the road, enhancing the community's character and intent. Visual relationships should be made among structures on site as well as with adjacent compounds. A complementary visual relationship should be established between neighbors.

Setbacks and buildable area constraints contribute to the arrangement of the compound and are defined for each tract type. Any structural portion of the compound may not be located within these setbacks unless a variance has been granted by the DRC.

Existing trees and vegetation within building setbacks should be preserved as they help create natural buffers, enhance the natural landscape, and begin to outline where additional landscape beds may be placed.

Construction siting shall be taken into consideration. Bear in mind that some type of residential structure, whether it be the main house or guest house, shall be erected simultaneously with the other out-buildings or barns. If construction is performed in phases, it is encouraged to construct the main house with out-buildings rather

than solely the guest house. Cases where outbuildings and barns are built first shall be reviewed with more scrutiny than with compounds electing to perform simultaneous construction.

Construction of outbuildings prior to the construction of the main house will be carefully reviewed by the DRC in order to maintain the integrity of the community. Simultaneous construction of main house and out-buildings is preferred.

GRADING

Grading should be minimized and any alteration to the existing topography and drainage must be indicated on the site plan that is presented and reviewed by the DRC. Any grading that is necessary must be accomplished in a gradual manner, blending graded forms into the existing landforms and balancing cut and fill.

Structures should be stepped into the natural terrain, integrating them into the topography. Where applicable, retaining wall heights should be kept at a minimum and used primarily to preserve existing vegetation. They too should be incorporated into the architectural style established at each particular home site.

If significant retaining walls are required, terraces should be implemented in order to achieve desired elevation. Not only do terraces lessen the impact to the natural environment, but they also provide a height variation to the roof lines of structures within the compound. Use native vegetation for erosion control on altered slopes where applicable.

DRAINAGE

Existing drainage patterns should remain where possible. Storm water should be addressed by underground piping directing it away from structures and minimizing on site erosion. Other runoff should be directed toward existing channels, swales, or structures designed for the community as a whole.

Small ponds used for the care of horses and for drainage retention on site are acceptable, provided that they respond to the natural topography and are of a size and depth that is proportional to total acreage and number of horses. These ponds must be approved as part of the overall site plan.

SITE CLEARING

It is to your advantage to keep as many significant trees and vegetation as possible on site. It is suggested that vegetation be preserved on site and that the architecture respond to those preserved trees. Most homesites have been heavily cleared to create open views and pasture. Homeowners should respect the existing views when siting any structures, minimizing additional tree clearing. However, realizing that if structure siting denotes further clearing, it will be allowed with the approval of the DRC. Wooded homesites may receive special considerations in regards to tree clearing. Placing portions of the home near existing canopy helps cool the home during warm summer months. Consequently, placing portions in naturally cleared areas or near deciduous trees with good sun exposure can help warm the house during winter.



Tract Development Patterns

Compound Development Plan DRIVEWAYS AND HARDCAPE

Driveways are an extension of the home, welcoming the homeowner and guests to the compound. Their design should be purposefully done and with respect to the architectural style. Their visual impact should be minimal and should follow the site's natural contours.

Asphalt drives are recommended. If a permeable surface is desired, there must be an asphalt apron that extends from the road a minimum of 100' toward the house. Scored or colored concrete is discouraged. The driveway's width shall be a minimum of 12 feet and a maximum of 18 feet in order to accommodate large trailers.



Like driveways, walkways should be intentionally designed and detailed using the following materials:

- Brick (to match architecture)
- Stone (to match architecture)
- Granite Fines with Steel Edging
- Grass Pavers



2.



3.



4.



5.

DOCKS

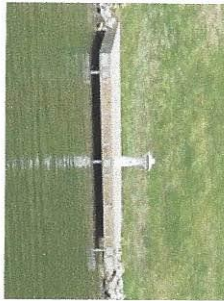
All docks constructed on lake tracts must be located between the top of bank and a 20 foot extension zone into the lake. There is to be maintained a 15 foot lake access easement adjacent to the top of bank. The property's fence runs the length of this access easement.

A covered canopy structure not exceeding 100 sf may be erected within the easement as well as a dock extension so as the total length of the dock does not exceed 30' and the width does not exceed 5'. The structures shall not impede reasonable access to the lake. All docks should be constructed of either pressure treated lumber or a synthetic lumber substitute with the appearance of lumber and must be approved by the DRC.

Docks should be used as a launching site and seating area only, not as storage facilities. They must be fixed docks rather than floating docks. Overhead canopies are allowed only within the 15' access easement. They may be free standing or integrated into the dock structure and shall be of minimal construction so as not to clutter the lake's edge.



6.



7.



8.

Review Process and Submittal Requirements

DRC Submittal and Approval Process

RESEARCH/ DOCUMENT REVIEW

Prior to beginning the submission process, a full review of these design guidelines and the Kings Ridge Declaration of Covenants, Conditions, Restrictions, and Easements, including any updates and revisions, should occur. Any questions regarding the review process or any of the requirements or guidelines should be directed to the Design Review Committee (DRC) Administrator. It is a requirement that no plans shall be submitted to any regulatory agency without Concept Plan Review approval from the DRC. The DRC and any of its staff or persons associated with the DRC cannot be held responsible for any aspect of the review process or the adequacy or correctness of an individual project. A review fee of \$350 (amount subject to change) is required upon submittal. Please note the outlined submittal process described below is subject to change.

SURVEY

A survey is not required for the submission process. However, the DRC reserves the right to ask for a survey (no older than two years) for pre-determined, lot specific tracts. The survey shall locate all existing trees 6" (caliper inches) and above, property lines, set-back lines and easements. It is recommended to include existing topography in the survey and will be required for specific tracts. Use a registered land surveyor for the completion of the survey. At no time during design or construction shall any plant material be removed from the site without authorization.

ORIENTATION MEETING

A meeting prior to the submission process is not required but the DRC holds the right to call such meeting for any improvements subject to a DRC review. The purpose of the meeting is to generally discuss the overall design intent and to answer any initial questions. Items reviewed include a sketch plan of the building and or site which may be supplemented with photos of similar projects depicting what the developer wants to build.

PRELIMINARY REVIEW

Subsequent to the orientation meeting, the Preliminary Review is the first formal step in the DRC review process. The intent of the Preliminary Review is to allow the developer/owner/tenant to identify the overall design concept prior to completing final construction documents. An application form and fee shall be submitted with the following requirements for this review submission:

Certified Site Survey (from a registered land surveyor) must include:

- Property lines with bearings and distances.
- Setbacks, easements or other restrictive areas.
- Size, location and type of all trees 6" (caliper inches) and above, as well as any other vegetation that will influence the design of the building and site.
- Drainage swales, ditches and pipe systems and structures.
- Existing utility information such as water, sanitary sewer and electricity.
- Ponds, wetlands, or other natural or man-made water features including elevations for bodies of water, water edge and top of bank.
- Location of adjacent structures including corners of buildings, fences, roadway or any other structures or natural features that would affect the design of the building and site.
- Plan scale.
- North arrow.
- Owner(s) name and address.

Site Plan must include:

- A sketch plan of the site (1" = 20').
- An outline of all proposed buildings, location and primary site improvements with respect to site characteristics such as views, existing vegetation, and any other conditions that may affect the placement and design of the building and site (1" = 20').

Architectural Plans and Elevations must include:

- Floor Plan(s) - with overall dimensions, total enclosed square footage (heated & non-heated), rooms labeled and dimensioned (1/8" = 1').
- All elevation drawings to include overall height from ground level to roof and indicate roof pitch (1/4" = 1').
- The architectural drawings should indicate the general style of the building.
- If the building has been inspired by existing design(s), copies of pictures from resources illustrating the concept would be helpful.
- Site Plan shall include building footprints, driveway and other site improvements on a plan at a scale of no less than 1/16" scale or 1" = 20'. Site Plan shall also show existing conditions pertinent to the design of the building including but not limited to, trees, contours, roadways, property lines and setbacks.
- Preliminary Landscape Plan shall include areas of lawn, planting beds, existing and proposed trees, shrubs and other ground covers, vines and mulch areas. Existing natural areas should also be identified. Proposed trees and shrubs should be labeled with their common and scientific names and planted sizes. All proposed planting should be graphically depicted at native size.
- Sample Boards shall illustrate the color, finish and material of the proposed structures, driveway, and other site improvements.

FINAL REVIEW

Following the preliminary review and comment by the DRC the applicant may begin the final review process. The final design review is intended to be the final step in the review and submission process. Typically all major design decisions and issues should have been resolved by this stage between the owner(s), design team and the DRC, prior to submission of the following requirements for final design review documents (note: the DRC reserves the right to require all of the following drawings. Not all drawings may be necessary based on the site plan and lot types.):

Site Plan drawn at a scale of no less than 1" = 20' shall include the following:

- Existing Trees to remain and to be removed.
- Location of all pertinent site information, property lines, wooded areas, easements and setbacks.
- Proposed finished floor elevations for all structures.
- Drainage information with proposed drainage solutions and any special system or equipment specified.
- All proposed horizontal improvements including but not limited to drives, walks, patios, decks, and terraces shall be clearly identified.
- All proposed vertical improvements including but not limited to proposed building(s), fences, walls, and other structures.
- Label and note distance of proposed elements to property lines.
- Water and sanitary sewer system and associated features location including septic field location.
- Well locations.
- Electricity, phone and cable lines.
- All variance requests should be formally noted.



Review Process and Submittal Requirements

DRC Submittal and Approval Process

Architectural Plans, Wall Sections, Details, Roof Plans, Etc. shall include the following for all buildings (All plans at 1/4" scale):

- Total square footage - heated and unheated.
- Total enclosed heated and air-conditioned space (by floor).
- Finished floor elevations.
- Foundation plan.
- Power panel(s), mechanical controls and fire protection systems.
- Location of service equipment such as HVAC, satellite and trash or disposal containers.
- Proposed exterior building lighting with cut sheets.

Roof Plan at 1/4" scale

Colors and samples of roof material must be submitted. All roof mounted equipment must be detailed.

Elevations at 1/4" scale must illustrate:

- All sides (including rear elevation), material specifications, existing grade and finished grade.
- Dimension from 1st floor to uppermost ridge or parapet.
- Typical main entrance section.

Typical wall section(s) must illustrate:

- Materials.
- Roof pitch or parapet profile.
- Fences, screens, exterior walls, etc.

Details - The architect must supply all necessary exterior details including but not limited to:

- Window/door trim sections.
- Column, rail, cornice, entablature (if used).
- Fascia, rake/soffit/rieze.
- Any other reasonable details as requested by the DRC, which would facilitate their accurate construction and or to clarify design construction intent.

Exterior Building Materials:

Exterior materials and color schedule must include samples of all exterior materials and color chips mounted on foam core board.

Landscape Plan shall include any revisions from comments pertaining to the Preliminary Landscape Plan. The Landscape Plan shall include the following:

- Existing Trees to remain and to be removed.
- Location of all pertinent site information such as property lines, ponds, wooded areas, easements and setbacks.
- Locate all proposed planting and related improvements including trees, shrubs, groundcovers, perennials and annuals, grasses, turf and mulched areas. Clearly label or key each proposed planting. All proposed planting should be graphically depicted at mature size.
- Include a plant materials list that identifies each proposed planting through a key legend or symbol. Include the height, spread, container and additional remark specifications for each plant.
- Irrigation system layout and equipment shall be indicated on this plan or as an attachment.
- Exterior lighting systems and components shall be indicated (if applicable) on this plan or as an attachment.

CONSTRUCTION PERMITS

Following DRC final approval the contractor obtains an Alken County building permit and provides a copy to the DRC. A \$3000 refundable construction deposit (amount subject to change) will be paid as security for the repair of any damaged Common Areas during construction or improperly built structures not in accordance with DRC approved plans. The deposit will be refunded upon satisfactory completion of the project.

Erosion control must address all the requirements of South Carolina environmental regulations. The DRC will then issue an DRC building permit. No construction may begin until the DRC permit is issued. During construction site cleanliness shall be maintained at all times. It is imperative that all sites be maintained in a clean and tidy manner. All construction materials must be kept within the property lines and stored in an inconspicuous area of the site and a clear street right-of-way should be maintained. Access over or through the adjoining properties is expressly forbidden without written permission from the affected property owner. Deductions from the security deposit or levied fines may be applied in order to assist in property maintaining the site at the sole discretion of the DRC.

MODIFICATIONS AND FUTURE IMPROVEMENTS

Changes to the approved site plans, building documents, and landscape plans may be made at anytime at the written request of the owner. Plans depicting proposed modification and a request letter shall be submitted to the DRC for review and approval.

FINAL INSPECTION

Following receipt of a copy of the as-built construction documents, Certificate of Occupancy, from Alken County, and a completed checklist review of the DRC Design Guidelines and Covenants, a final inspection notification shall be issued.

DRC PROCESS & APPEALS

The review process is described briefly below.

- Any submission that is incomplete will not be reviewed until a complete submission is received.
- The DRC reviews plans and a decision is based on a simple majority.
- The DRC confirms or takes exception to the application within 30 days of the submittal and the owner is notified that the application is incomplete, has been approved, with stipulations, or disapproved. Reasons for disapproval are cited.
- The DRC may disapprove an application as a deferral because the application inadequately describes the requested change from a previous plan review.

- In the majority of cases involving minor concerns, the DRC's suggested solutions can be clarified for the owner. A revised application may then be submitted and reviewed in the same fashion as the initial application.
- If the application is still disapproved at this time, or if the owner does not wish to make an informal appeal to the DRC, a formal appeal, in writing, may be made to the DRC.

- The formal appeal involves a reconsideration of the application based on the rationale presented by the applicant's written appeal. The appeal will be reviewed by the DRC and additional professional consultants as needed. The DRC's decision is based on a simple majority. The applicant is informed of the DRC's decision within 10 days of the DRC meeting.



Review Process and Submittal Requirements

Suggested Plant List

DECIDUOUS TREES

<i>Acer floridanum</i>	Southern Sugar Maple
<i>Acer negundo</i>	Box Elder
<i>Ametanther arborea</i>	Serviceberry
<i>Betula nigra</i>	Riverbirch
<i>Carpinus caroliniana</i>	Musclewood
<i>Carya ilinoensis</i>	Pecan
<i>Cercis canadensis</i>	Redbud
<i>Chionanthus virginicus</i>	Fringe Tree
<i>Cornus florida</i>	Flowering Dogwood
<i>Crataegus spp.</i>	Hawthorne
<i>Diospyros virginiana</i>	Persimmon
<i>Fagus grandifolia</i>	American Beech
<i>Fraxinus pennsylvanica</i>	Green Ash
<i>Halestia carolina</i>	Carolina Silverbell
<i>Hamamelis virginiana</i>	Witch Hazel
<i>Koeleruteria paniculata</i>	Goldenrain Tree
<i>Lagerstromia indica</i>	Crape Myrtle
<i>Magnolia stellata</i>	Star Magnolia
<i>Magnolia x soulangeana</i>	Saucer Magnolia
<i>Platanus occidentalis</i>	Sycamore
<i>Quercus falcata</i>	Southern Red Oak
<i>Quercus muhlenbergii</i>	Nuttall Oak
<i>Quercus phellos</i>	Willow Oak
<i>Quercus rubra maxima</i>	Eastern Red Oak
<i>Salix babingtonia</i>	Weeping Willow
<i>Salix caroliniana</i>	Ward Willow
<i>Sassafras albidum</i>	Sassafras
<i>Taxodium distichum</i>	Bald Cypress
<i>Ulmus parvifolia</i>	Chinese or Lacebank Elm
<i>Zelkova serrata</i>	Japanese Zelkova

EVERGREEN TREES

<i>Gordonia lasianthus</i>	Loblolly Bay
<i>Ilex opaca and hybrids</i>	American Holly
<i>Ilex vomitoria</i>	Yaupon Holly
<i>Juniperus salsicifolia</i>	Southern Red Cedar
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Magnolia virginiana</i>	Sweetbay Magnolia
<i>Osmanthus americana</i>	American Tea Olive
<i>Persia borbonica</i>	Red Bay
<i>Pinus glabra</i>	Spruce Pine
<i>Pinus palustris</i>	Longleaf Pine
<i>Pinus taeda</i>	Loblolly Pine
<i>Quercus laurifolia</i>	Lauel Oak
<i>Quercus virginiana</i>	Live Oak

DECIDUOUS SHRUBS

<i>Alnus serrulata</i>	Tag Alder
<i>Aronia arbutifolia</i>	Red Chokeberry
<i>Amorpha fruticosa</i>	False Indigo
<i>Berberis thunbergii</i>	Barberry
<i>Cephalanthus occidentalis</i>	Butterbush
<i>Clethra alnifolia</i>	Sweet Pepperbush
<i>Cornaderia seloana</i>	Pampas Grass
<i>Eunonymus americanus</i>	Strawberry Bush
<i>Fothergilla major</i>	Witch Alder
<i>Fothergilla minor</i>	Dwarf Witch Alder
<i>Hibiscus moscheutos</i>	Rose Mallow
<i>Ilex decidua</i>	Possum-haw Holly
<i>Ilex verticillata</i>	Winterberry
<i>Ilex virginica</i>	Sweetpire
<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea
<i>Rhus glabra</i>	Smooth Sumac
<i>Sambucus canadensis</i>	Elderberry
<i>Vaccinium corymbosum</i>	Highbush Blueberry
<i>Viburnum prunifolium</i>	Black Haw

EVERGREEN SHRUBS

<i>Aucuba japonica</i>	Aucuba
<i>Camellia japonica</i>	Camellia
<i>Cleyera japonica</i>	Cleyera
<i>Cynilla racemiflora</i>	Titi
<i>Elaeagnus pungens</i>	Elaeagnus
<i>Forsythia species</i>	Forsythia
<i>Gardenia species</i>	Gardenia
<i>Ilex cassine</i>	Dahoon Holly
<i>Ilex cornuta species</i>	Chinese Holly
<i>Ilex laurifolia</i>	Lauristleaf Holly
<i>Ilex glabra</i>	Inkberry
<i>Ilex vomitoria species</i>	Yaupon Holly
<i>Juniperus x. Pfitzeriana</i>	Pfitzer Juniper
<i>Juniperus virginiana</i>	Eastern Red Cedar
<i>Loropetalum chinense</i>	Loropetalum
<i>Mahonia species</i>	Wax Myrtle
<i>Myrica cerifera</i>	Prickly-Pear Cactus
<i>Opuntia compressa</i>	Osmanthus Species
<i>Osmanthus species</i>	Pittosporum Species
<i>Pittosporum species</i>	Pittosporum
<i>Podocarpus macrophyllus</i>	Pyraeantha
<i>Pyraeantha coccinea</i>	Bear Grass
<i>Yucca filamentosa</i>	Mound-Lily Yucca
<i>Yucca gloriosa</i>	

DECIDUOUS SHRUBS

<i>Alnus serrulata</i>	Tag Alder
<i>Aronia arbutifolia</i>	Red Chokeberry
<i>Amorpha fruticosa</i>	False Indigo
<i>Berberis thunbergii</i>	Barberry
<i>Cephalanthus occidentalis</i>	Butterbush
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<i>Rhus glabra</i>	Smooth Sumac
<i>Sambucus canadensis</i>	Elderberry
<i>Vaccinium corymbosum</i>	Highbush Blueberry
<i>Viburnum prunifolium</i>	Black Haw



Review Process and Submittal Requirements

Suggested Plant List

GROUND COVER AND VINES	GRASSES	WETLAND PLANTS	WILDFLOWERS
<i>Aspidistra elatior</i>	Cast Iron Plant	<i>Canna flaccida</i>	<i>Baptisia alba</i>
<i>Campsis radicans</i>	Trumpet Creeper	<i>Nymphaea odorata</i>	<i>Chimaphila maculata</i>
<i>Decumaria barbara</i>	Climbing Hydrangea	<i>Peltandra virginica</i>	<i>Chrysanthemum</i> spp.
<i>Ficus pumila</i>	Climbing Fig	<i>Polygonum lapathifolium</i>	<i>Cyrtum carolinianum</i>
<i>Gardenia radicans</i>	Creeping Gardenia	<i>Cortaderia cordata</i>	<i>Clintonia maritima</i>
<i>Hedera species</i>	Ivy Species	<i>Cortaderia selkiana</i> 'Pumila'	<i>Coreopsis lanceolata</i>
<i>Heptacallis species</i>	Daylily	<i>Miscanthus species</i>	<i>Erythrina herbacea</i>
<i>Juniperus conferta</i> 'Blue Pacific'	Blue Pacific Juniper	<i>Molinia caerulea</i>	<i>Hexastylis arifolia</i>
<i>Juniperus parsonii</i>	Parsons Juniper	<i>Panicum virgatum</i>	<i>Ipomoea</i> spp.
<i>Liriope muscari</i>	Big Blue Liriope	<i>Pennisetum alopecuroides</i>	<i>Liatis graminifolia</i>
<i>Rosa banksiae</i>	Landy Banks Rose		<i>Polygala</i> spp.
<i>Rosa laevigata</i>	Cherokee Rose		<i>Pycnanthemum</i> spp.
<i>Rubus argutus</i>	Creeping Blackberry		<i>Rhexia virginica</i>
<i>Lonicera sempervirens</i>	Red Trumpet Honeysuckle		<i>Rubus hirta</i>
<i>Parthenocissus quinquefolia</i>	Virginia Creeper		<i>Solidago</i> spp.
<i>Trachelospermum asiaticum</i>	Asiatic Jasmine		<i>Tredexantia</i>
<i>Trachelospermum jasminoides</i>	Confederate Jasmine		<i>Tritium discolor</i>
<i>Wisteria frutescens</i>	Wild Wisteria		<i>Verbascum thapsus</i>
			<i>Verbena</i>
			<i>Viola</i> spp.
			<i>Wild Indigo</i>
			<i>Pipsissewa</i>
			<i>Ox-eye Daisy</i>
			<i>Purple Thistle</i>
			<i>Butterfly Pea</i>
			<i>Coreopsis</i>
			<i>Coral Bean</i>
			<i>Wild Ginger</i>
			<i>Morning Glory</i>
			<i>Blazing Star</i>
			<i>Milkworts</i>
			<i>Horsemint</i>
			<i>Meadow Beauty</i>
			<i>Black-eyed Susan</i>
			<i>Goldenrod</i>
			<i>Spidevort</i>
			<i>Tritium</i>
			<i>Mullein</i>
			<i>Verbena</i>
			<i>Wood Violet</i>

* The Suggested Plant List is general and does not reflect soil, sun, or shade requirements, or drought tolerance. The owner is responsible to verify that the specific plant selections are appropriate for their intended use, location, and growing conditions. High maintenance plants should be limited to smaller, localized areas near the house while plants requiring less maintenance should be located in more naturalized areas.



Review Process and Submittal Requirements

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